



DEPARTMENT OF PLANNING

Application / Petition Form & Statement of Financial Interest

Department Use

Case #
Meeting Date
Total Fee
Received By/Date

23-0039
01/19/2023

Case Type (Special Use Permit, Rezoning, Variance, Site Development Plan Review, etc) Wall Variance

Project Address (Location) Cliff Shadows Parkway and Novat Street

Project Name Cliff Shadows Storage Proposed Use mini-storage

Assessor's Parcel #(s) portion of 137-12-401-001 Ward # 4

General Plan: Existing VC Proposed n/a Zoning: Existing PD Proposed n/a

Additional Information _____

Property Owner USA (City of Las Vegas Lease) Contact _____

Address 400 Stewart Avenue City Las Vegas State NV Zip 89106

E-mail n/a Phone n/a

Applicant OREC LV GP, LLC Contact Sean Dalesandro

Address 3717 Canis Minor Lane #11104 City Las Vegas State NV Zip 89052

E-mail n/a Phone n/a

Representative Kaempfer Crowell Contact Tony Celeste

Address 1980 Festival Plaza Dr. #650 City Las Vegas State NV Zip 89135

E-mail apierce@kcnvlaw.com Phone 702-792-7048

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company? ☐ Yes ☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official _____ Partner(s) _____

Partner(s) _____

I certify that I am the applicant and that the information submitted with this application is true and accurate to the best of my knowledge and belief. I understand that the City is not responsible for inaccuracies in information presented, and that inaccuracies, false information or incomplete application may cause the application to be rejected. I further certify that I am the owner or purchaser (or option holder) of the property involved in the application, or the lessee or agent fully authorized by the owner to make this submission, as indicated by the owner's signature below.

Application will not be deemed complete until the submitted materials have been reviewed by Department of Planning for consistency with the Zoning Ordinance.

Property Owner Signature _____

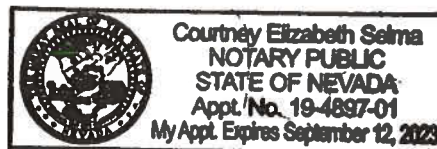
An authorized agent may sign in lieu of the property owner for Final Maps, Tentative Maps and Parcel Maps

Print Name SEAN DALESANDRO

Subscribed and sworn before me

This 13th day of January, 20 23

Notary Public in and for said County and State



◆ Keynotes

- | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
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| 1 | PAINTED GYA SYMBOL. REFER TO CIVIL DWA | 2 | PROPERTY LINE | 3 | AS PAVING. REFER TO CIVIL DRAWING | 4 | POC - THE DEPARTMENT CONNECTION | 5 | PERMANENT SOUTH SIDE GOVERNING | 6 | TRAFFIC ENCLASURE. REFER TO DETAIL | 7 | AS PAVING. GYA. REFER TO DETAIL | 8 | LANDSCAPE AREA. REFER TO LANDSCAPE | 9 | POWER TRANSDUCER. LOCATION. REFER | 10 | AT BUILDINGS. REFER TO PAVING. CIVIL | 11 | DRAWINGS AND DETAIL. SLOPE | 12 | AND PROVIDE SLOPE. SLOPE | 13 | YELLOW PLASTIC ALIEN. REFER PER | 14 | THE VISIBILITY ZONE. REFER CIVIL DWA | 15 | THE ALIEN. REFER CIVIL DWA | 16 | ONCE TURNING RADII. 10' 0" | 17 | HATCH PATTERN FOR CLARIFICATION ONLY | 18 | NOT TO BE THE DESIGN INTENT | 19 | FOR CONSTRUCTION | 20 | OVERALL CONTROL. JOINTS | 21 | AND ONCE PROVIDED STRUCTURAL | 22 | ENGINEERING | 23 | PAINTED LINE TO CIVIL DWA | 24 | GUTTER. 1' SLOPE. REFER TO CIVIL | 25 | PAINTED LINE TO CIVIL DWA | 26 | PAINTED LINE TO CIVIL DWA | 27 | PAINTED LINE TO CIVIL DWA | 28 | PAINTED LINE TO CIVIL DWA | 29 | PAINTED LINE TO CIVIL DWA | 30 | PAINTED LINE TO CIVIL DWA | 31 | PAINTED LINE TO CIVIL DWA | 32 | PAINTED LINE TO CIVIL DWA | 33 | PAINTED LINE TO CIVIL DWA | 34 | PAINTED LINE TO CIVIL DWA | 35 | PAINTED LINE TO CIVIL DWA | 36 | PAINTED LINE TO CIVIL DWA | 37 | PAINTED LINE TO CIVIL DWA | 38 | PAINTED LINE TO CIVIL DWA | 39 | PAINTED LINE TO CIVIL DWA | 40 | PAINTED LINE TO CIVIL DWA | 41 | PAINTED LINE TO CIVIL DWA | 42 | PAINTED LINE TO CIVIL DWA | 43 | PAINTED LINE TO CIVIL DWA | 44 | PAINTED LINE TO CIVIL DWA | 45 | PAINTED LINE TO CIVIL DWA | 46 | PAINTED LINE TO CIVIL DWA | 47 | PAINTED LINE TO CIVIL DWA | 48 | PAINTED LINE TO CIVIL DWA | 49 | PAINTED LINE TO CIVIL DWA | 50 | PAINTED LINE TO CIVIL DWA | 51 | PAINTED LINE TO CIVIL DWA | 52 | PAINTED LINE TO CIVIL DWA | 53 | PAINTED LINE TO CIVIL DWA | 54 | PAINTED LINE TO CIVIL DWA | 55 | PAINTED LINE TO CIVIL DWA | 56 | PAINTED LINE TO CIVIL DWA | 57 | PAINTED LINE TO CIVIL DWA | 58 | PAINTED LINE TO CIVIL DWA | 59 | PAINTED LINE TO CIVIL DWA | 60 | PAINTED LINE TO CIVIL DWA | 61 | PAINTED LINE TO CIVIL DWA | 62 | PAINTED LINE TO CIVIL DWA | 63 | PAINTED LINE TO CIVIL DWA | 64 | PAINTED LINE TO CIVIL DWA | 65 | PAINTED LINE TO CIVIL DWA | 66 | PAINTED LINE TO CIVIL DWA | 67 | PAINTED LINE TO CIVIL DWA | 68 | PAINTED LINE TO CIVIL DWA | 69 | PAINTED LINE TO CIVIL DWA | 70 | PAINTED LINE TO CIVIL DWA | 71 | PAINTED LINE TO CIVIL DWA | 72 | PAINTED LINE TO CIVIL DWA | 73 | PAINTED LINE TO CIVIL DWA | 74 | PAINTED LINE TO CIVIL DWA | 75 | PAINTED LINE TO CIVIL DWA | 76 | PAINTED LINE TO CIVIL DWA | 77 | PAINTED LINE TO CIVIL DWA | 78 | PAINTED LINE TO CIVIL DWA | 79 | PAINTED LINE TO CIVIL DWA | 80 | PAINTED LINE TO CIVIL DWA | 81 | PAINTED LINE TO CIVIL DWA | 82 | PAINTED LINE TO CIVIL DWA | 83 | PAINTED LINE TO CIVIL DWA | 84 | PAINTED LINE TO CIVIL DWA | 85 | PAINTED LINE TO CIVIL DWA | 86 | PAINTED LINE TO CIVIL DWA | 87 | PAINTED LINE TO CIVIL DWA | 88 | PAINTED LINE TO CIVIL DWA | 89 | PAINTED LINE TO CIVIL DWA | 90 | PAINTED LINE TO CIVIL DWA | 91 | PAINTED LINE TO CIVIL DWA | 92 | PAINTED LINE TO CIVIL DWA | 93 | PAINTED LINE TO CIVIL DWA | 94 | PAINTED LINE TO CIVIL DWA | 95 | PAINTED LINE TO CIVIL DWA | 96 | PAINTED LINE TO CIVIL DWA | 97 | PAINTED LINE TO CIVIL DWA | 98 | PAINTED LINE TO CIVIL DWA | 99 | PAINTED LINE TO CIVIL DWA | 100 | PAINTED LINE TO CIVIL DWA |
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General Notes

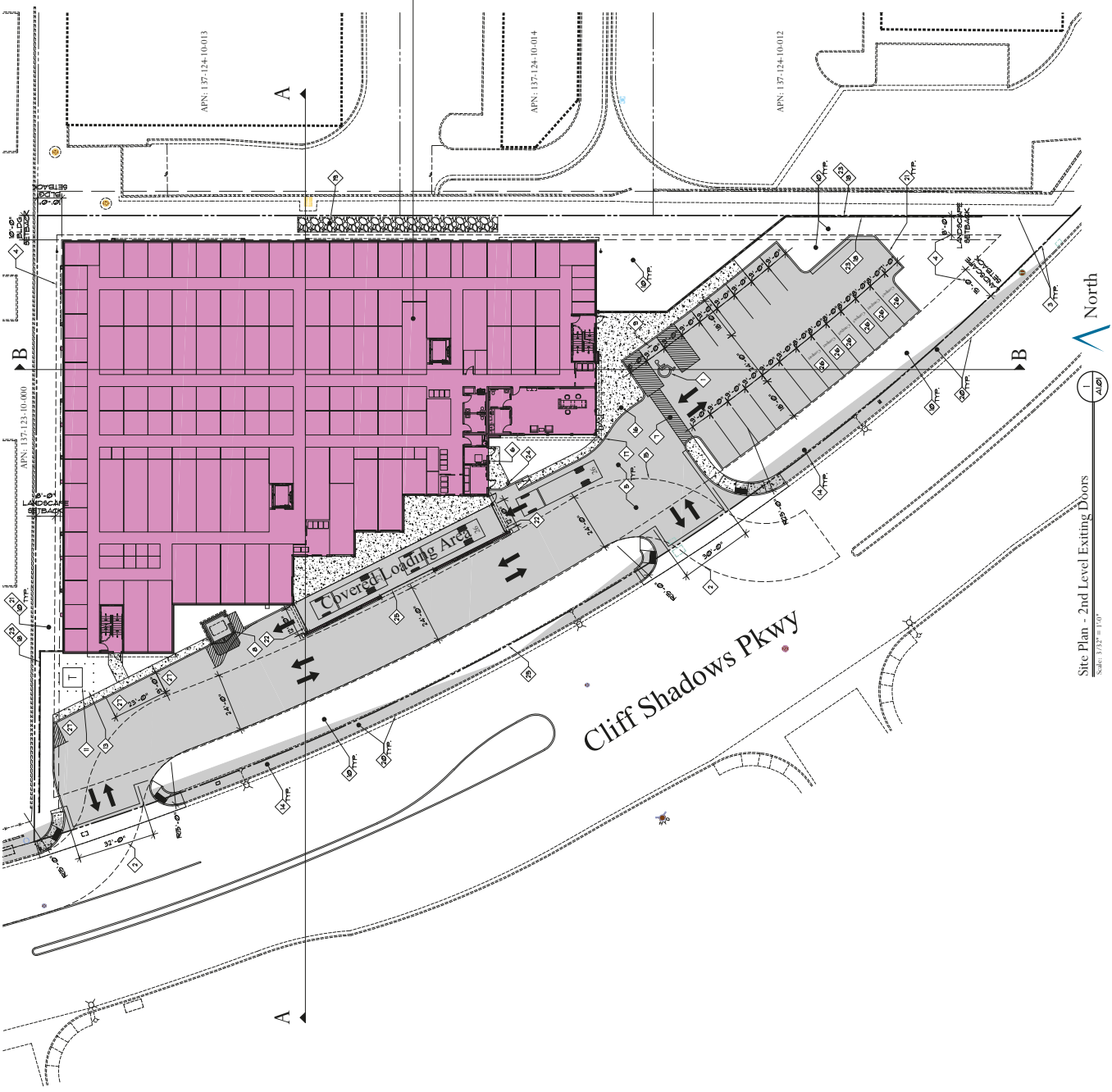
- CONTRACTOR TO FIELD ALL GENERAL CONTRACTOR'S REQUESTS FOR INFORMATION AND DISCREPANCY BETWEEN CIVIL AND LANDSCAPE PLANS. ELECTRICAL AND MECHANICAL PLANS SHALL BE RECORDED. THE ARCHITECTS ATTEND TO THE PROJECT IMMEDIATELY. REFER TO CIVIL FOR HORIZONTAL CONTROL. REFER TO LANDSCAPE FOR PLANTING AND CONTROL. ON-SCENE CIVIL AND LANDSCAPE PRELIMINARY OVERLAP SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE LIMIT OF WORK. EXISTING SITE WORK DAMAGED OUTSIDE THE LIMIT OF WORK BY GENERAL CONTRACTOR SHALL BE REPAIRED TO MATCH THE ORIGINAL CONDITIONS.

Site Data

ADDITIONAL COMMENTS (ENTER IN 17-12-16)	17-12-16
ADDITIONAL COMMENTS: GENERAL PLANNED DEVELOPMENT (PD) LOT 10 CONTAIN BEST MATTER PLANNED AND NO CHANGE TO THE ZONING - 1/2 ACRES OF 1/2 LOT LINES	
PLANNED ZONING: 1/4 STORY	20.00 SF
BASEMENT	20.00 SF
1ST FLOOR	20.00 SF
2ND FLOOR	20.00 SF
3RD FLOOR	20.00 SF
4TH FLOOR	20.00 SF
5TH FLOOR	20.00 SF
6TH FLOOR	20.00 SF
7TH FLOOR	20.00 SF
8TH FLOOR	20.00 SF
9TH FLOOR	20.00 SF
10TH FLOOR	20.00 SF
11TH FLOOR	20.00 SF
12TH FLOOR	20.00 SF
13TH FLOOR	20.00 SF
14TH FLOOR	20.00 SF
15TH FLOOR	20.00 SF
16TH FLOOR	20.00 SF
17TH FLOOR	20.00 SF
18TH FLOOR	20.00 SF
19TH FLOOR	20.00 SF
20TH FLOOR	20.00 SF
21ST FLOOR	20.00 SF
22ND FLOOR	20.00 SF
23RD FLOOR	20.00 SF
24TH FLOOR	20.00 SF
25TH FLOOR	20.00 SF
26TH FLOOR	20.00 SF
27TH FLOOR	20.00 SF
28TH FLOOR	20.00 SF
29TH FLOOR	20.00 SF
30TH FLOOR	20.00 SF
31ST FLOOR	20.00 SF
32ND FLOOR	20.00 SF
33RD FLOOR	20.00 SF
34TH FLOOR	20.00 SF
35TH FLOOR	20.00 SF
36TH FLOOR	20.00 SF
37TH FLOOR	20.00 SF
38TH FLOOR	20.00 SF
39TH FLOOR	20.00 SF
40TH FLOOR	20.00 SF
41ST FLOOR	20.00 SF
42ND FLOOR	20.00 SF
43RD FLOOR	20.00 SF
44TH FLOOR	20.00 SF
45TH FLOOR	20.00 SF
46TH FLOOR	20.00 SF
47TH FLOOR	20.00 SF
48TH FLOOR	20.00 SF
49TH FLOOR	20.00 SF
50TH FLOOR	20.00 SF
51ST FLOOR	20.00 SF
52ND FLOOR	20.00 SF
53RD FLOOR	20.00 SF
54TH FLOOR	20.00 SF
55TH FLOOR	20.00 SF
56TH FLOOR	20.00 SF
57TH FLOOR	20.00 SF
58TH FLOOR	20.00 SF
59TH FLOOR	20.00 SF
60TH FLOOR	20.00 SF
61ST FLOOR	20.00 SF
62ND FLOOR	20.00 SF
63RD FLOOR	20.00 SF
64TH FLOOR	20.00 SF
65TH FLOOR	20.00 SF
66TH FLOOR	20.00 SF
67TH FLOOR	20.00 SF
68TH FLOOR	20.00 SF
69TH FLOOR	20.00 SF
70TH FLOOR	20.00 SF
71ST FLOOR	20.00 SF
72ND FLOOR	20.00 SF
73RD FLOOR	20.00 SF
74TH FLOOR	20.00 SF
75TH FLOOR	20.00 SF
76TH FLOOR	20.00 SF
77TH FLOOR	20.00 SF
78TH FLOOR	20.00 SF
79TH FLOOR	20.00 SF
80TH FLOOR	20.00 SF
81ST FLOOR	20.00 SF
82ND FLOOR	20.00 SF
83RD FLOOR	20.00 SF
84TH FLOOR	20.00 SF
85TH FLOOR	20.00 SF
86TH FLOOR	20.00 SF
87TH FLOOR	20.00 SF
88TH FLOOR	20.00 SF
89TH FLOOR	20.00 SF
90TH FLOOR	20.00 SF
91ST FLOOR	20.00 SF
92ND FLOOR	20.00 SF
93RD FLOOR	20.00 SF
94TH FLOOR	20.00 SF
95TH FLOOR	20.00 SF
96TH FLOOR	20.00 SF
97TH FLOOR	20.00 SF
98TH FLOOR	20.00 SF
99TH FLOOR	20.00 SF
100TH FLOOR	20.00 SF

Mini-Storage

- 4 Levels
- (4) Above Grade East side
(2) Above West side
(3) Above North side
(2) Above South side



Site Plan - 2nd Level Exiting Doors

$$E_{\text{eff}} = E_{\text{eff}}(1 - \alpha) + \alpha E_{\text{eff}}$$



PLANTING LEGEND - TREES

SYMBOL	QTY	SIZE	BOTANICAL NAME	COMMON NAME	UNIT SIZE F X W X CAL	REMARKS
	6	24" BOX	CHARLES L. ART'S SEEDLESS OR SWEET BURBIA	HYBRID DESERT WILLOW	8' X 3' X 1"	STANDARD TRUNK
	19	24" BOX	PROSOPIS X. PHOENIX	HYBRID PHOENIX MISCOUTIE	8' X 3' X 1"	STANDARD TRUNK
	19	24" BOX	ACACIA STENOPHYLLA	SILVERSTING ACACIA	8' X 3' X 1"	STANDARD TRUNK
	11	24" BOX	ACACIA ANEURA	MILGA TREE	8' X 3' X 1"	STANDARD TRUNK

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PLANTING LEGEND - SHRUBS, GROUNDCOVERS, AND GRASSES

SYMBOL	QTY	SIZE	BOTANICAL NAME	COMMON NAME	UNIT SIZE F X W X CAL	REMARKS
	32	5 GALLON	CALLISTEMON 'LITTLE JOHN'	DWARF BOTTLEBRUSH	FULL	NOTES
	12	5 GALLON	CHRYSOCLADIA MEXICANA	DWARF BOTTLEBRUSH	FULL	GROUND COVER
	30	5 GALLON	DALEA CARYATA 'SIERRA GOLD'	SIERRA GOLD DALEA	FULL	GROUND COVER
	34	5 GALLON	MULBERRIERIA REGAL NISIT	REGAL NISIT GRASS	FULL	GROUND COVER
	157	5 GALLON	LEUCOPHYLLUM 'NO BRAVO'	COMPACT TEXAS SAGE	FULL	GROUND COVER
	14	5 GALLON	LANTANA 'RADICANS'	RADIANT LANTANA	FULL	GROUND COVER
	48	5 GALLON	EREMOPHILA G. 'WINGS NEW GOLD'	SUNSEEM BUSH	FULL	GROUND COVER
	11	5 GALLON	TECOMA STANS 'BELLS OF FIRE'	BELLS OF FIRE TECOMA	FULL	GROUND COVER

PLACE 2" DEPTH OF 3/4" SCREENED VISTA GOLD ROCK MULCH FROM VISTA LANDSCAPE SUPPLY IN ALL ON SITE LANDSCAPE PLANTERS, EXCEPT WHERE OTHERWISE NOTED.

PLANT LOCATIONS, QUANTITIES AND TYPES MAY CHANGE SLIGHTLY AS THE DESIGN PROGRESSES. IF UTILITIES INCLUDING EASEMENTS, ARE FOUND TO BE IN CONFLICT WITH THIS PLAN, OR ANY OTHER REQUIREMENTS SUCH AS EXPANSIVE SOILS CONDITIONS ARE ENCOUNTERED.

PA. (702) 776-7774

John Jones
Landscape Architect
P.L.C.
702.624.4320
8275 S. Eastern Avenue
Las Vegas, NV 89123

PROJECT NAME
Cliff Shadows Storage
Las Vegas, Nevada 89129

SHEET TITLE
LANDSCAPE ENTITLEMENT PLAN

PROJECT NO. 23021

DATE February 28, 2023

SCALE
SHEET NO. L-1

Keynotes

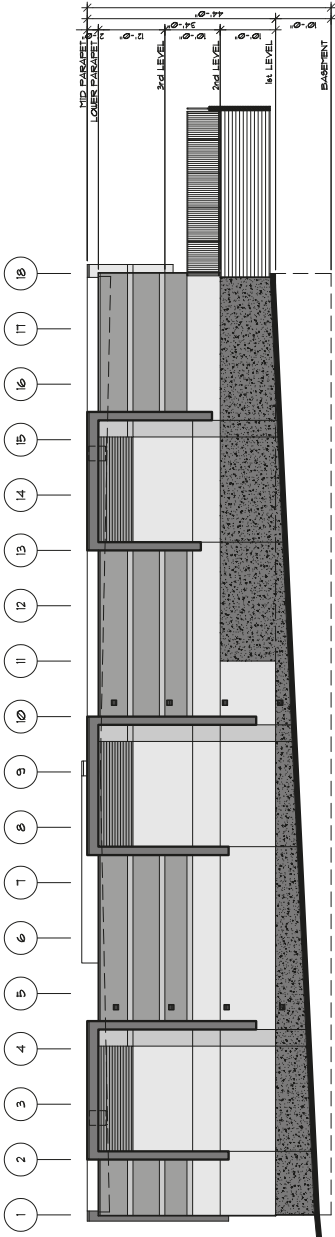
- 1 EPS SYSTEM OF SUBGRADE w/ LIGHT SAND FILLING. REFER TO SECTION 01050 FOR DETAILS. REFER TO SECTION 01050 FOR DETAILS.
- 2 ALUMINUM STOREFRONT SYSTEM. REFER TO SECTION 05050 FOR DETAILS. REFER TO SECTION 05050 FOR DETAILS.
- 3 HARDWARE. REFER TO SECTION 05050 FOR DETAILS. REFER TO SECTION 05050 FOR DETAILS.
- 4 TRANSITIONER. REFER TO SECTION 05050 FOR DETAILS. REFER TO SECTION 05050 FOR DETAILS.
- 5 TRANSITIONER. REFER TO SECTION 05050 FOR DETAILS. REFER TO SECTION 05050 FOR DETAILS.
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NOT FOR CONSTRUCTION

SEAL

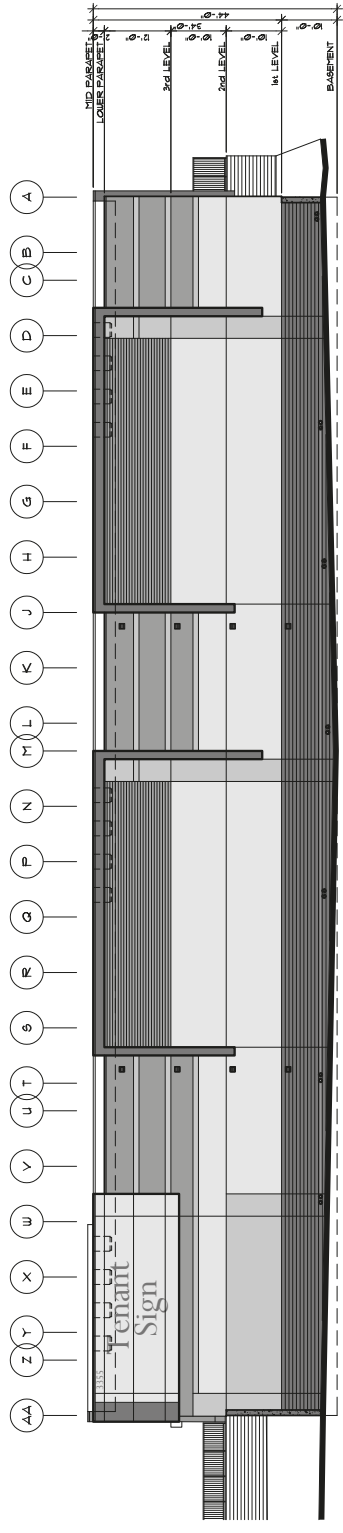
MARKUS STUDIOS

PH: (702) 776-7734



North Elevation

Scale: 1/2" = 1'-0"



East Elevation (1st Floor Loading)

Scale: 1/2" = 1'-0"

Materials & Colors

- DESIGN IS BASED ON BUT NOT LIMITED TO THE FOLLOWING:
- CONTRACTOR TO PROVIDE MOCK-UP FOR ARCHITECT AND OWNER APPROVAL REFER TO ENTIRE BRAND STANDARDS FOR FINISHES
- PT-1. SHERWIN WILLIAMS
 - PT-2. SHERWIN WILLIAMS
 - PT-3. SHERWIN WILLIAMS
 - PT-4. SHERWIN WILLIAMS
 - PT-5. SHERWIN WILLIAMS
 - PT-6. SHERWIN WILLIAMS
 - PT-7. SHERWIN WILLIAMS
 - PT-8. SHERWIN WILLIAMS
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 - PT-18. SHERWIN WILLIAMS
 - PT-19. SHERWIN WILLIAMS
 - PT-20. SHERWIN WILLIAMS

23-0039

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General Notes

1. CONTRACTOR TO FIELD VERIFY ALL CONDITIONS.
2. ALL DIMENSIONS ARE TAKEN FROM FACE OF STUDY MASONRY OR CONCRETE IN Q.

PROJECT NAME

Cliff Shadows Storage

3355 Cliff Shadows Parkway

Las Vegas, Nevada 89129

EXTERIOR ELEVATIONS

SHEET TITLE

PROJECT NO. 23021

DRAWN BY: SM

DATE: March 1, 2023

SCALE: As Noted

SHEET NO. A4.02

Keynotes

- 1 EPS SYSTEM OF SUBSTRATE w/ LIGHT SAND FILLING. REFER TO SECTION 05110 FOR DETAILS. REFER TO SECTION 05110 FOR DETAILS.
- 2 ALUMINUM STOREFRONT SYSTEM. REFER TO SECTION 05110 FOR DETAILS. REFER TO SECTION 05110 FOR DETAILS.
- 3 1/2" x 1/2" x 1/2" BRICKS. REFER TO SECTION 05110 FOR DETAILS. REFER TO SECTION 05110 FOR DETAILS.
- 4 1/2" x 1/2" x 1/2" BRICKS. REFER TO SECTION 05110 FOR DETAILS. REFER TO SECTION 05110 FOR DETAILS.
- 5 TRANSITIONER MOUNTING TO BE APPROVED BY MUNICIPALITY. REFER TO SECTION 05110 FOR DETAILS. REFER TO SECTION 05110 FOR DETAILS.
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Materials & Colors

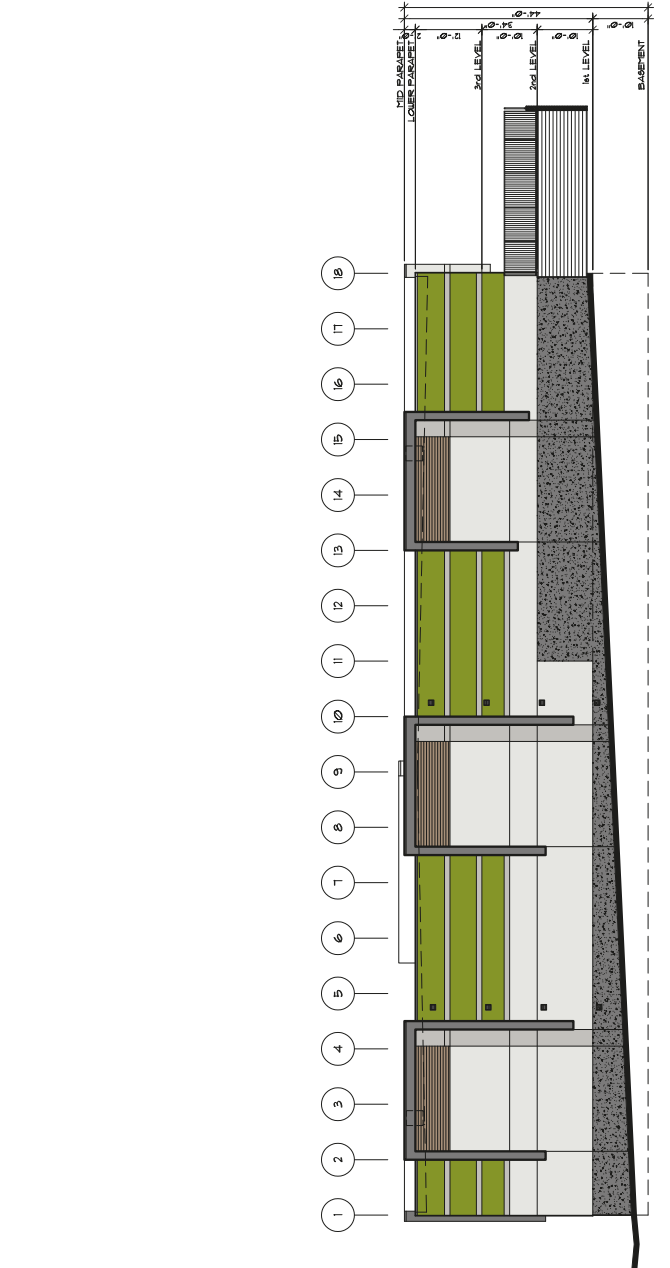
- DESIGN IS BASED ON BUT NOT LIMITED TO THE FOLLOWING:
- CONTRACTOR TO PROVIDE MOCK-UP FOR ARCHITECT AND OWNER APPROVAL. REFER TO SECTION 05110 FOR DETAILS. REFER TO SECTION 05110 FOR DETAILS.
- ENTIRE BRICK STANDARDS FOR FINISHES:
- PT-1: BROWN BRICKS
 - PT-2: BROWN BRICKS
 - PT-3: BROWN BRICKS
 - PT-4: BROWN BRICKS
 - PT-5: BROWN BRICKS
 - PT-6: BROWN BRICKS
 - PT-7: BROWN BRICKS
 - PT-8: BROWN BRICKS
 - PT-9: BROWN BRICKS
 - PT-10: BROWN BRICKS
 - PT-11: BROWN BRICKS
 - PT-12: BROWN BRICKS
 - PT-13: BROWN BRICKS
 - PT-14: BROWN BRICKS
 - PT-15: BROWN BRICKS
 - PT-16: BROWN BRICKS
 - PT-17: BROWN BRICKS
 - PT-18: BROWN BRICKS
 - PT-19: BROWN BRICKS
 - PT-20: BROWN BRICKS
- CH-1: CEILING
- CH-2: CEILING
- CH-3: CEILING
- CH-4: CEILING
- CH-5: CEILING
- CH-6: CEILING
- CH-7: CEILING
- CH-8: CEILING
- CH-9: CEILING
- CH-10: CEILING
- CH-11: CEILING
- CH-12: CEILING
- CH-13: CEILING
- CH-14: CEILING
- CH-15: CEILING
- CH-16: CEILING
- CH-17: CEILING
- CH-18: CEILING
- CH-19: CEILING
- CH-20: CEILING

23-0039

03/07/2023

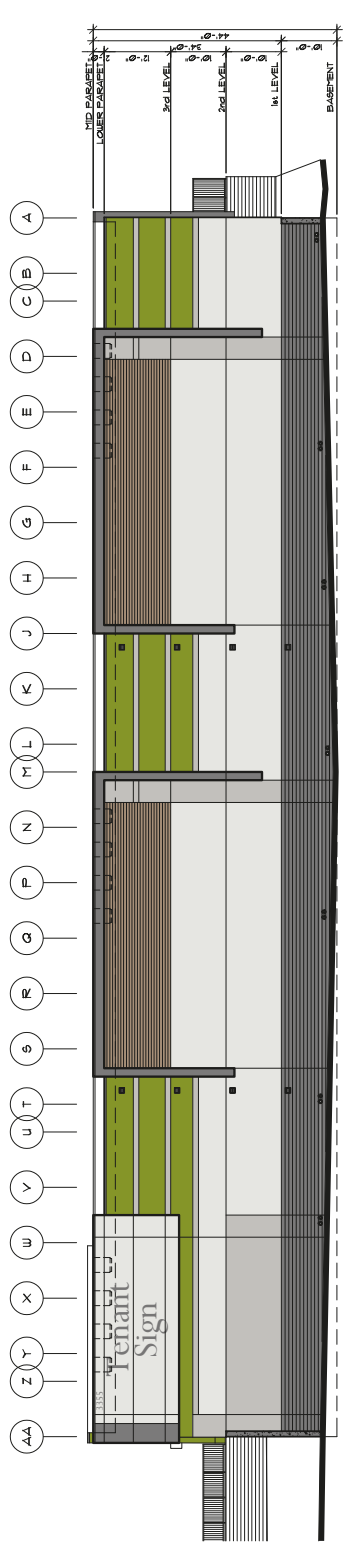
General Notes

- 1 CONTRACTOR TO FIELD VERIFY ALL CONDITIONS.
- 2 ALL DIMENSIONS ARE TAKEN FROM FACE OF STUDY MASONRY OR CONCRETE UNO.



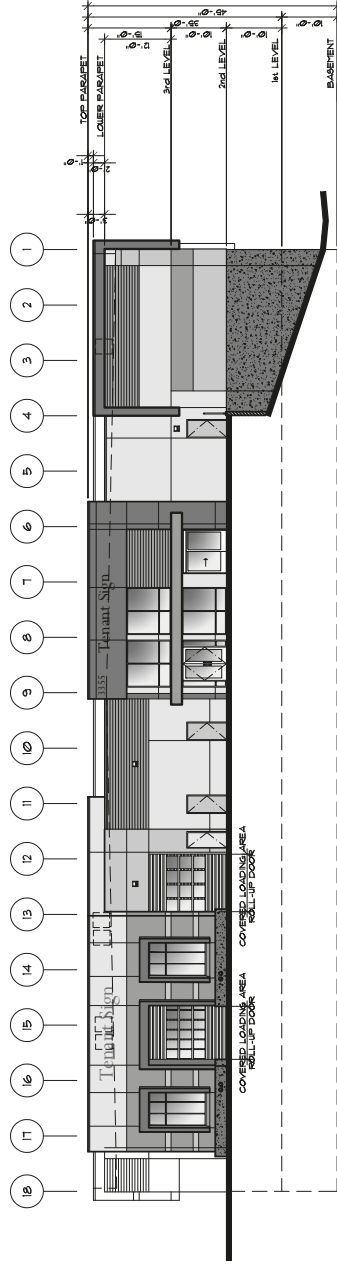
North Elevation

Scale: 1/32" = 1'-0"

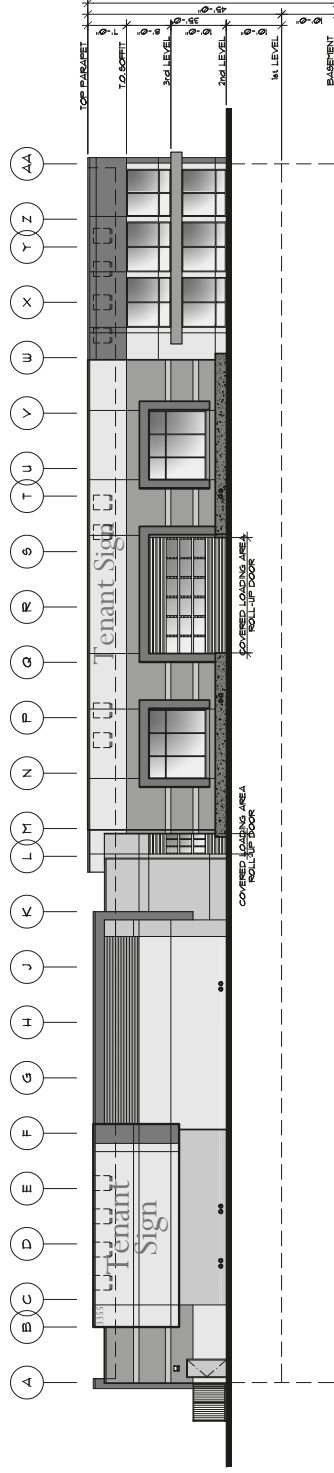


East Elevation (1st Floor Loading)

Scale: 1/32" = 1'-0"



South Elevation (Main Entry)



West Elevation (Cliff Shadows Pkwy)

KEYNOTES	
1	PER SYSTEM OF APPROXIMATE LIGHT AND INSULATION REFER TO SECTIONS STRUCTURAL DRAWINGS DETAILS AND SPECIFICATIONS
2	CHARMED LINE REPRESENTS BLOBS REFER TO DETAILS ON REBARBERS
3	CHARMED LINE REPRESENTS BLOBS REFER TO DETAILS ON REBARBERS
4	REINFORCEMENT BARS TO BE APPROVED BY PRINCIPAL ENGINEER AND APPROPRIATE APPROVAL PROCESSOR ORDER TO SUPPLY AND CONSTRUCTION TO APPLY AND OUTER BRASSAGE COMPANY REFER TO ELECTRICAL DETAILS
5	ELEVATION NOT COLORED FOR CLARITY, REFER TO BARS COLOR AND FINISH AS SHOWN IN PLAN AND SECTION
6	RETURN PANTONAL IN THESE FACE
7	REINFORCEMENT BARS TO BE APPROVED BY PRINCIPAL ENGINEER AND APPROPRIATE APPROVAL PROCESSOR ORDER TO SUPPLY AND CONSTRUCTION TO APPLY AND OUTER BRASSAGE COMPANY REFER TO ELECTRICAL DETAILS
8	REINFORCEMENT BARS TO BE APPROVED BY PRINCIPAL ENGINEER AND APPROPRIATE APPROVAL PROCESSOR ORDER TO SUPPLY AND CONSTRUCTION TO APPLY AND OUTER BRASSAGE COMPANY REFER TO ELECTRICAL DETAILS
9	REINFORCEMENT BARS TO BE APPROVED BY PRINCIPAL ENGINEER AND APPROPRIATE APPROVAL PROCESSOR ORDER TO SUPPLY AND CONSTRUCTION TO APPLY AND OUTER BRASSAGE COMPANY REFER TO ELECTRICAL DETAILS
10	REINFORCEMENT BARS TO BE APPROVED BY PRINCIPAL ENGINEER AND APPROPRIATE APPROVAL PROCESSOR ORDER TO SUPPLY AND CONSTRUCTION TO APPLY AND OUTER BRASSAGE COMPANY REFER TO ELECTRICAL DETAILS
11	REINFORCEMENT BARS TO BE APPROVED BY PRINCIPAL ENGINEER AND APPROPRIATE APPROVAL PROCESSOR ORDER TO SUPPLY AND CONSTRUCTION TO APPLY AND OUTER BRASSAGE COMPANY REFER TO ELECTRICAL DETAILS
12	REINFORCEMENT BARS TO BE APPROVED BY PRINCIPAL ENGINEER AND APPROPRIATE APPROVAL PROCESSOR ORDER TO SUPPLY AND CONSTRUCTION TO APPLY AND OUTER BRASSAGE COMPANY REFER TO ELECTRICAL DETAILS
13	REINFORCEMENT BARS TO BE APPROVED BY PRINCIPAL ENGINEER AND APPROPRIATE APPROVAL PROCESSOR ORDER TO SUPPLY AND CONSTRUCTION TO APPLY AND OUTER BRASSAGE COMPANY REFER TO ELECTRICAL DETAILS
14	REINFORCEMENT BARS TO BE APPROVED BY PRINCIPAL ENGINEER AND APPROPRIATE APPROVAL PROCESSOR ORDER TO SUPPLY AND CONSTRUCTION TO APPLY AND OUTER BRASSAGE COMPANY REFER TO ELECTRICAL DETAILS

Keynotes

- 1 EPS SYSTEM OF SUBSTRATE W/ LIGHT SAND FILLING TO BE USED FOR ALL EXTERIOR WALLS, FOUNDATIONS, AND RETAINING WALLS. ALL EXTERIOR WALLS SHALL BE FINISHED WITH A MINIMUM 1/2" THICK STONEFRONT SYSTEM. REFER TO DRAWINGS FOR DETAILS AND SPECIFICATIONS.
- 2 ALL EXTERIOR WALLS SHALL BE FINISHED WITH A MINIMUM 1/2" THICK STONEFRONT SYSTEM. REFER TO DRAWINGS FOR DETAILS AND SPECIFICATIONS.
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- 10 ALL EXTERIOR WALLS SHALL BE FINISHED WITH A MINIMUM 1/2" THICK STONEFRONT SYSTEM. REFER TO DRAWINGS FOR DETAILS AND SPECIFICATIONS.
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- 19 ALL EXTERIOR WALLS SHALL BE FINISHED WITH A MINIMUM 1/2" THICK STONEFRONT SYSTEM. REFER TO DRAWINGS FOR DETAILS AND SPECIFICATIONS.
- 20 ALL EXTERIOR WALLS SHALL BE FINISHED WITH A MINIMUM 1/2" THICK STONEFRONT SYSTEM. REFER TO DRAWINGS FOR DETAILS AND SPECIFICATIONS.

Materials & Colors

- DESIGN IS BASED ON BUT NOT LIMITED TO THE FOLLOWING:
- CONTRACTOR TO PROVIDE MOCK-UP FOR ARCHITECT AND OWNER APPROVAL. REFER TO ENTIRE BRAND STANDARDS FOR FINISHES.
- PT-1, SHERWIN WILLIAMS
R/W 1605 VERMILION DATE
 - PT-2, SHERWIN WILLIAMS
R/W 1605 JAGGED
 - PT-3, SHERWIN WILLIAMS
R/W 1605 WAGAI
 - PT-4, SHERWIN WILLIAMS
R/W 1605 REFLECTION
 - PT-5, SHERWIN WILLIAMS
R/W 1605 REFLECTION
 - PT-6, SHERWIN WILLIAMS
R/W 1605 REFLECTION
 - PT-7, SHERWIN WILLIAMS
R/W 1605 REFLECTION
 - PT-8, SHERWIN WILLIAMS
R/W 1605 REFLECTION
 - PT-9, SHERWIN WILLIAMS
R/W 1605 REFLECTION
 - PT-10, SHERWIN WILLIAMS
R/W 1605 REFLECTION
 - PT-11, SHERWIN WILLIAMS
R/W 1605 REFLECTION
 - PT-12, SHERWIN WILLIAMS
R/W 1605 REFLECTION
 - PT-13, SHERWIN WILLIAMS
R/W 1605 REFLECTION
 - PT-14, SHERWIN WILLIAMS
R/W 1605 REFLECTION
 - PT-15, SHERWIN WILLIAMS
R/W 1605 REFLECTION
 - PT-16, SHERWIN WILLIAMS
R/W 1605 REFLECTION
 - PT-17, SHERWIN WILLIAMS
R/W 1605 REFLECTION
 - PT-18, SHERWIN WILLIAMS
R/W 1605 REFLECTION
 - PT-19, SHERWIN WILLIAMS
R/W 1605 REFLECTION
 - PT-20, SHERWIN WILLIAMS
R/W 1605 REFLECTION

General Notes

- 1. CONTRACTOR TO FIELD VERIFY ALL CONDITIONS.
- 2. ALL DIMENSIONS ARE TAKEN FROM FACE OF STUDY TOLERANCE OR CONCRETE UNO.

NOT FOR CONSTRUCTION

MARKUS STUDIOS

PH: (702) 796-7734

CONSULTANT

PROJECT NAME
3355 Cliff Shadows Storage
Las Vegas, Nevada 89129

SHEET TITLE
Exterior Elevations

PROJECT NO. 23021

REVISIONS:

DRAWN BY: SM

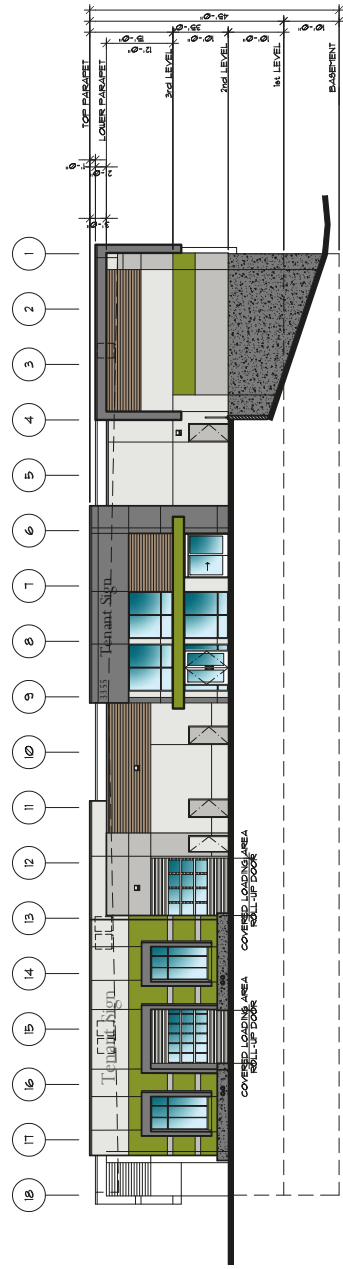
DATE: March 4, 2023

SCALE: As Noted

SHEET NO. A4.01

23-0039

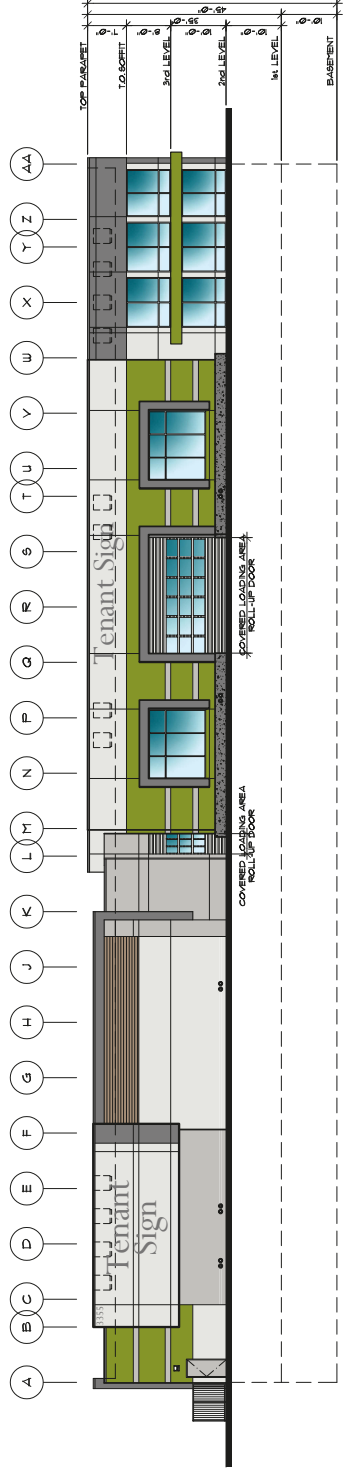
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2
A4.01

South Elevation (Main Entry)

Scale: 1/32" = 1'-0"



1
A4.01

West Elevation (Cliff Shadows Pkwy)

Scale: 1/32" = 1'-0"